

7049 ENTERPRISE DRIVE

CITY OF NORTON SHORES, MUSKEGON COUNTY, MICHIGAN

(Formerly 1325 Judson Road)



NEDERVELD
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 Grand Rapids, MI 49503
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PREPARED FOR:
 THIRTY-ONE & M-45, LLC
 212 S. Harbor Dr.,
 Suite 300
 Grand Haven, MI 49417
 Phone: 616.723.3600
 Attn: Rick Grasman

REVISIONS:
 Title Submitted for Review
 Drawn: TA Checked: TA Date: 04.15.19
 Title Re-Submitted for Review
 Drawn: TA Checked: TA Date: 05.02.19
 Title Revised per MCDC comments
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SITE PLAN

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SITE DATA

PARCEL ADDRESS: 1325 JUDSON ROAD(VACANT)
 PARCEL TAX NUMBER: 61-27-278-000-0002-00
 EXISTING ZONING DISTRICT: G1 (GENERAL INDUSTRIAL)
 PROPOSED USE: OFFICE/WAREHOUSE BUILDING
 TOTAL PROPOSED BUILDING FLOOR AREA: 23,325 FT²

	REQUIRED	PROPOSED
LOT AREA:		3.11 ACRES
LOT WIDTH:		597 FT.
LOT BUILDING COVERAGE:		17.22%
BUILDING HEIGHT:		24 FEET(1 STORY)

BUILDING SETBACKS:	REQUIRED (G1)	PROPOSED
FRONT (BUILDING):	45 FT.	101.8 FT.
SIDE (BUILDING):	20 FT.	114.2 FT., 237.4 FT.
REAR (BUILDING):	25 FT.	25.0 FT.

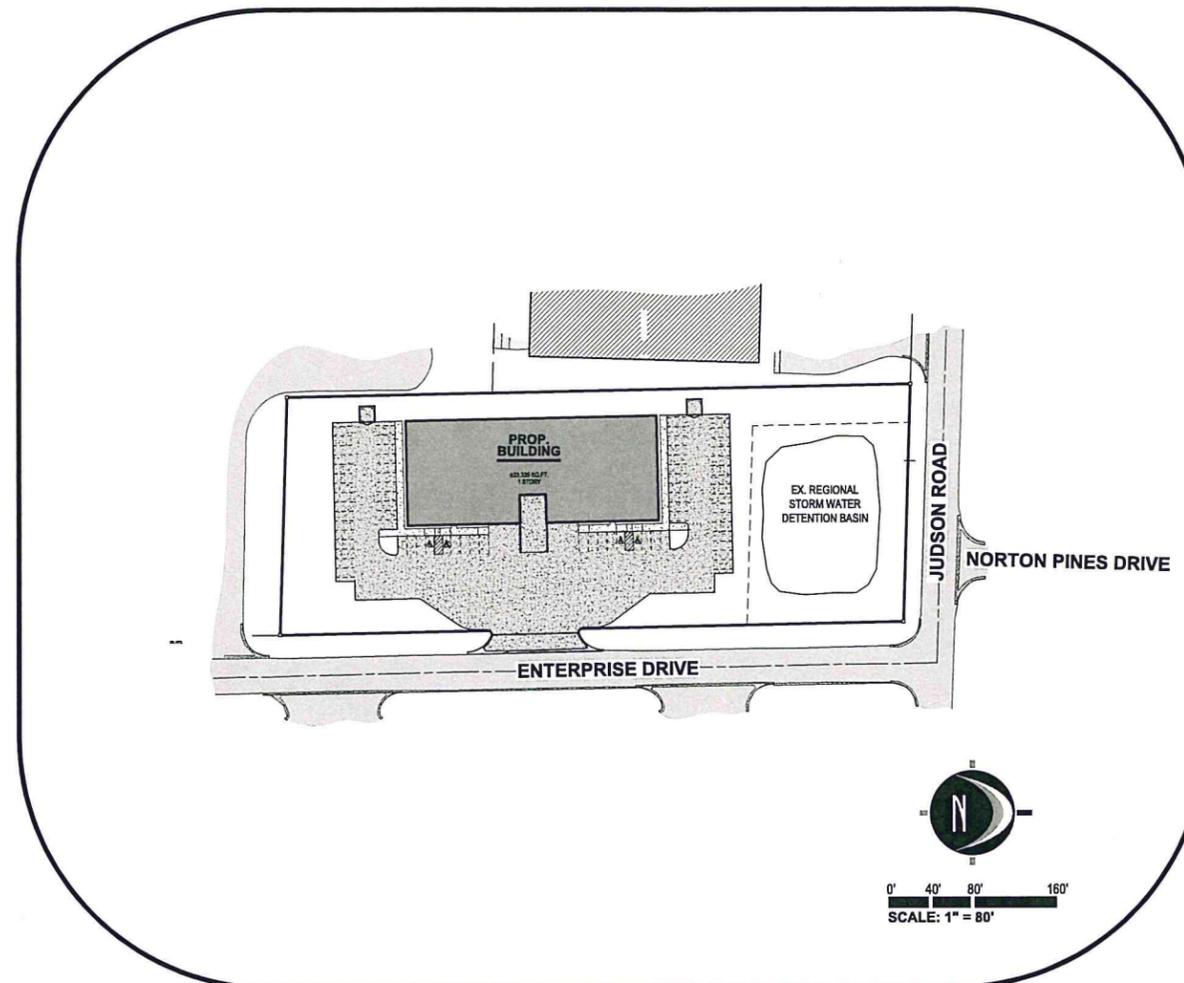
PARKING SETBACKS:	REQUIRED	PROPOSED
FRONT:	30 FT. GREENBELT	30 FT.

PARKING (OFFICE/WAREHOUSE):
REQUIRED:
 OFFICE: 1 SPACE PER 300 SF OF GROSS FLOOR AREA
 3,808 SF / 300 SF = 12 SPACES
 WAREHOUSE: 5 SPACES PLUS 1 PER EMPLOYEE ON LARGEST SHIFT
 5 + 40/(40 EMPLOYEE+) = 45 SPACES
 TOTAL PARKING(REQUIRED): 12 SP. + 45 SP. = 57 SPACES(REQUIRED)

PROVIDED:
 TOTAL PARKING(PROVIDED): 72 SPACES(PROVIDED)
 INCLUDING FOUR(4) A.D.A. SPACES

UTILITY COMPANY CONTACTS

Gas	DTE	Judith Droski	(616) 954-4575
Electric	Consumers Energy	Nick Paige	(231) 332-2640
Telephone	Frontier Communications	Dave Flemoen	(231) 727-1319
Cable	Comcast	Joe Schopf	(231) 203-7114



TITLE DESCRIPTION

Land situated in the City of Norton Shores, Muskegon County, Michigan:

Unit 2 of Enterprise Associates Site Condominium, according to the Master Deed recorded in Liber 1947, on page 720 and the First Amendment to the Master Deed recorded in Liber 3829, on page 922 and amendments thereof, if any, and designated as Muskegon County Condominium Subdivision Plan No. 54, together with rights in general common elements and limited common elements as set forth in the above Master Deed and as described in Act 59 of the Public Acts of 1978, as amended

STAMP:



PROJECT NO:
17200493

SHEET NO:
C-100

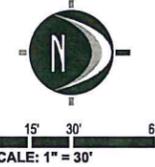


UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

7049 Enterprise Drive

Cover Sheet

LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 03, T9N, R16W, CITY OF NORTON SHORES, MUSKEGON COUNTY, MICHIGAN



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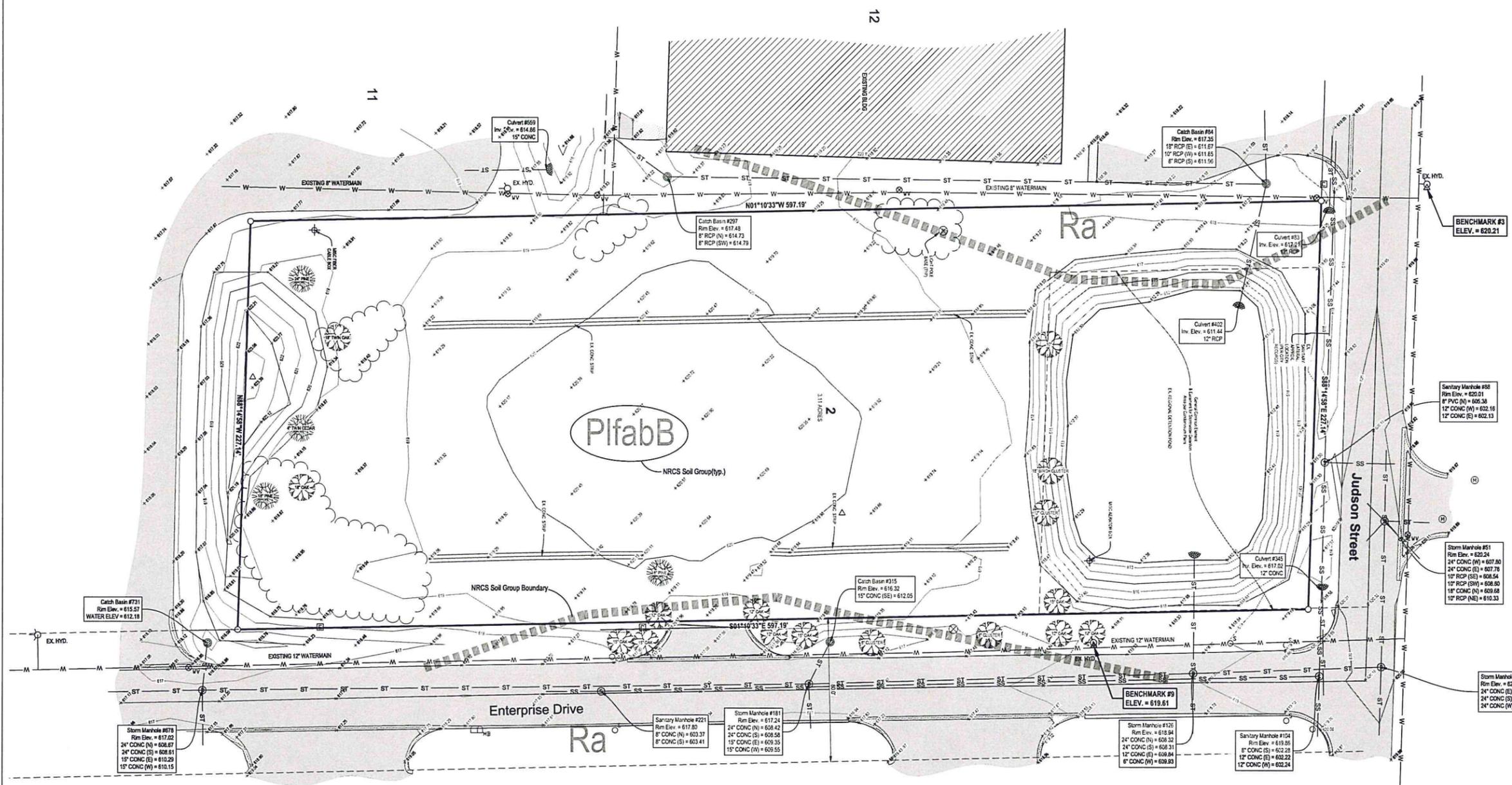
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LEGEND

- Benchmark
- Catch Basin - Round
- Cable Riser
- Culvert
- Deciduous Tree
- Electric Riser
- Evergreen Tree
- Hydrant
- Iron - Found
- Manhole
- Phone Riser
- Sign
- Sanitary Sewer Manhole
- Stormwater Manhole
- Water Valve
- Sanitary
- Storm
- Tree
- Asphalt
- Concrete
- Existing Building



NRCS SOILS
PifabB PLAINFIELD SAND, LAKE PLAIN, 0 TO 6 PERCENT SLOPES
Ra ROSCOMMON AND AU GRES SANDS

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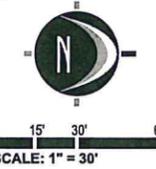
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BENCHMARKS
BENCHMARK #3 ELEV. = 620.21 (LOCAL DATUM)
Top flange bolt on under "R", 1.3'± above grade. Located 26'± North of the centerline of Judson Street & 273'± West of the centerline of Enterprise Drive.
BENCHMARK #9 ELEV. = 619.61 (LOCAL DATUM)
Top flange bolt under "E" in "EJIM" on hydrant, 1.5'± above grade. Located 22'± West of the centerline of Enterprise Drive & 152'± South of the centerline of Judson Street.

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C-201



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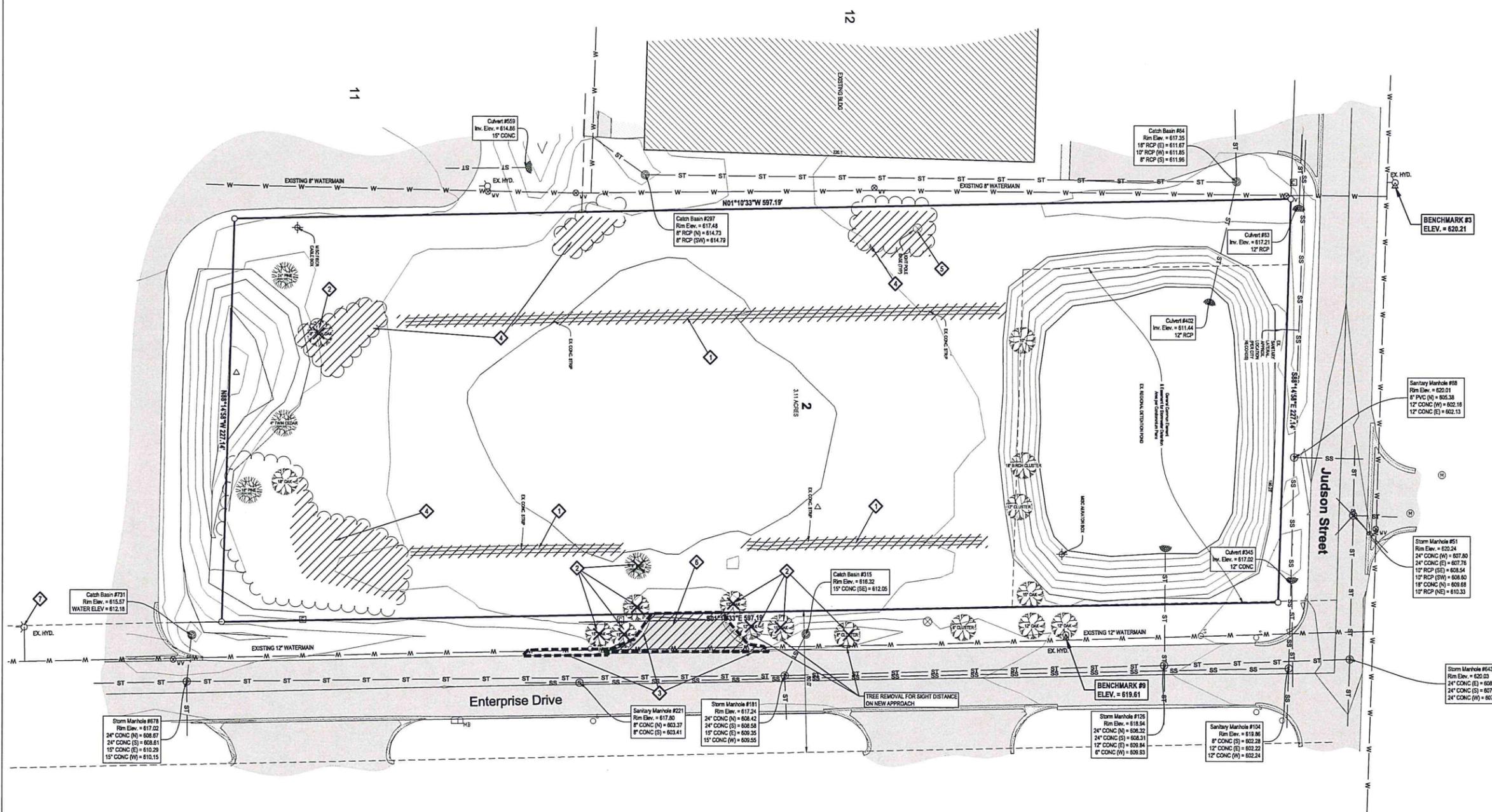
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REMOVAL LEGEND

- 1 REMOVE EXISTING CONCRETE PAVEMENT
- 2 REMOVE EXISTING TREE
- 3 REMOVE CURB AS NEEDED FOR TYPE 'W' OPENING
- 4 REMOVE EX. SMALL TREES / BRUSH
- 5 REMOVE EX. LIGHT POLE BASE
- 6 REMOVE EX. BITUMINOUS PAVEMENT
- 7 RE-LOCATE EX. HYDRANT. SEE SHT. C-400 FOR DETAILS
- X EXISTING TREE REMOVAL
- ||||| REMOVALS

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED TO FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGED AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/DAY/YEAR.
- 12) ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- 13) ALL TREE REMOVALS WITHIN THE ENTERPRISE DRIVE AND/OR JUDSON ROAD R.O.W. SHALL BE APPROVED BY THE STREET DIVISION, CITY OF NORTON SHORES, PRIOR TO REMOVAL.

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STAMP:

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17200493

SHEET NO:
C-203

7049 Enterprise Drive
Demolition Plan

LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T9N, R18W, CITY OF NORTON SHORES, MUSKOGEE COUNTY, MICHIGAN



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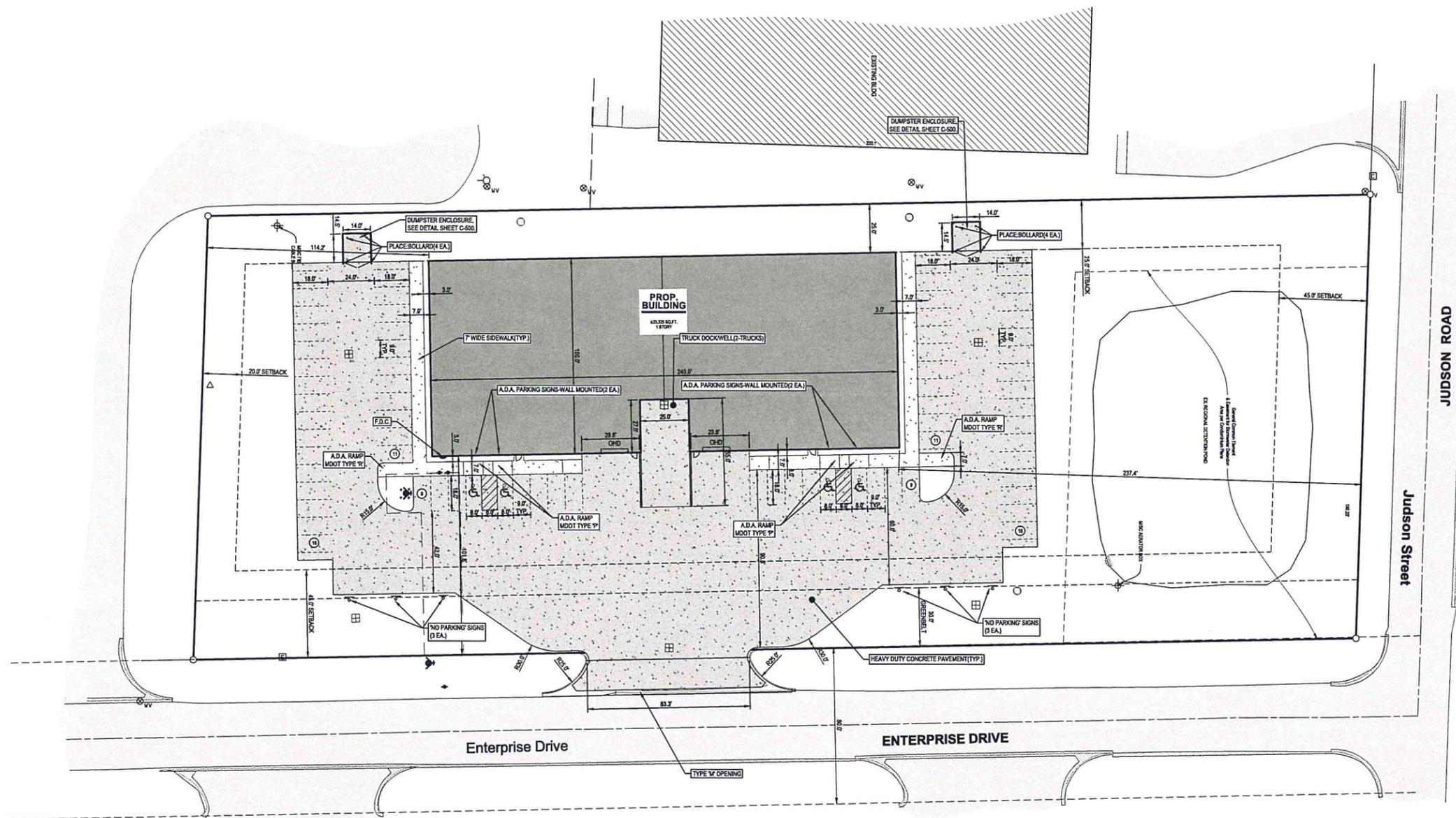
0' 15' 30' 60'
SCALE: 1" = 30'

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)

GENERAL NOTES

- 1) ALL DIMENSIONS TO CURB LINE ARE TO THE FACE OF CURB.
- 2) ALL TRAFFIC CONTROL SHALL BE PER THE LATEST EDITION OF THE M.M.U.T.C.D.
- 3) REFER TO MDOT STANDARD DRAWING R-28-J FOR SIDEWALK RAMP DETAILS.
- 4) SEE FIRE DEPARTMENT NOTES, SHEET C-400.
- 5) ALL WORK WITHIN ENTERPRISE DRIVE AND/OR JUDSON ROAD R.O.W. SHALL REQUIRE A PERMIT FROM THE STREET DIVISION, CITY OF NORTON SHORES, PRIOR TO CONSTRUCTION.
- 6) SEE ADDITIONAL NOTES & DETAILS, SHEET C-500.



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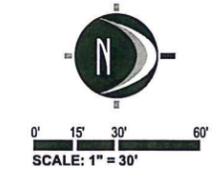
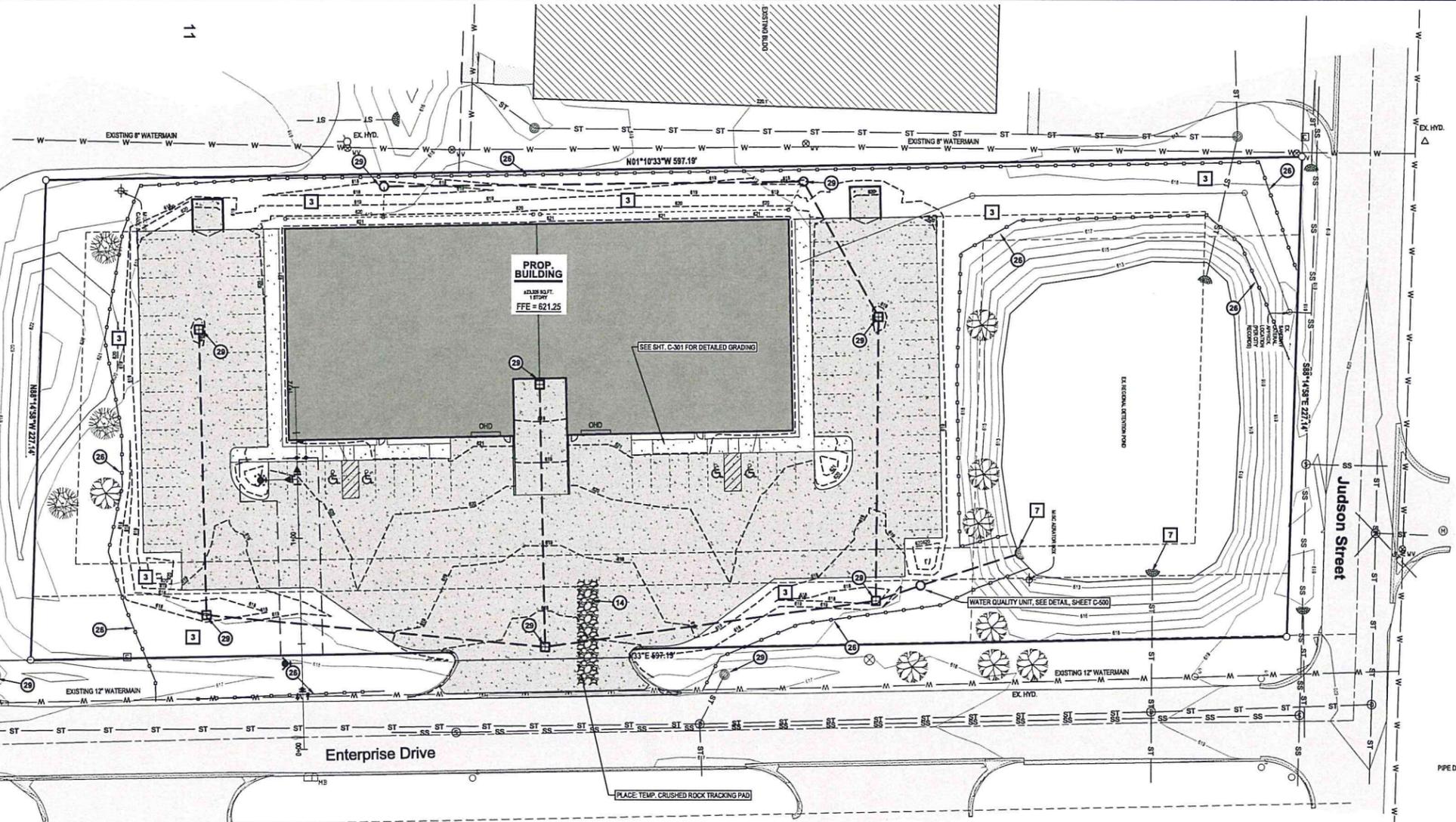
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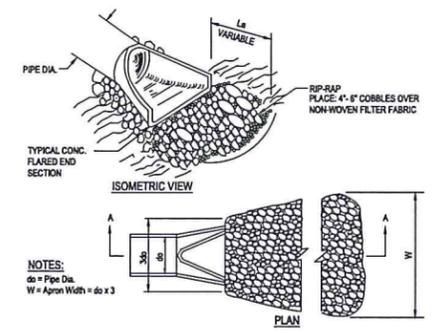
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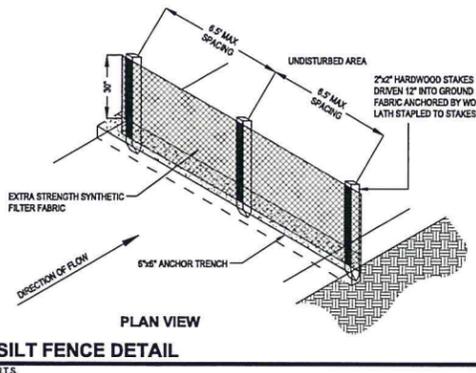
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(---)	PROPOSED CONCRETE (STANDARD DUTY)
(---)	PROPOSED CONCRETE (HEAVY DUTY)
(---)	PROP. STORM SEWER
(---)	PROP. SANITARY SEWER
(---)	PROP. WATERMAN
(---)	SILT FENCE



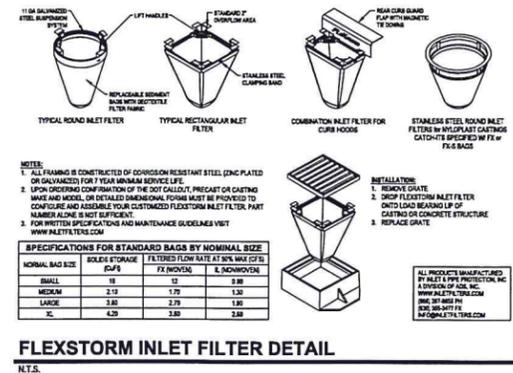
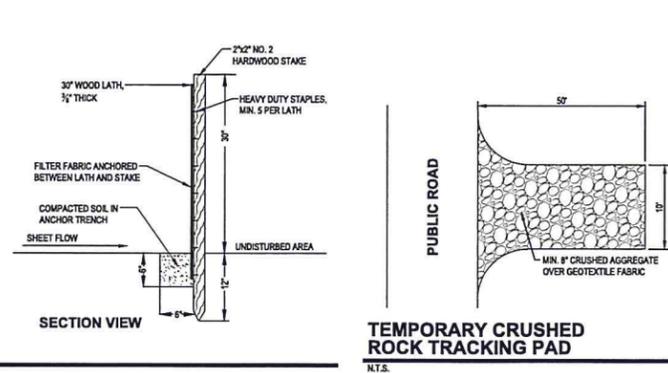
RIP-RAP APRON DETAIL
 N.T.S.

SOIL EROSION CONTROL SCHEDULE 2019

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
CONSTRUCT STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												



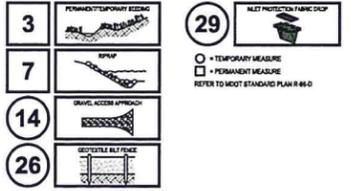
SILT FENCE DETAIL
 N.T.S.



FLEXSTORM INLET FILTER DETAIL
 N.T.S.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2008) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SSSC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SSSC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



STAMP:

STATE OF MICHIGAN
 LICENSED PROFESSIONAL ENGINEER
 TIMM E. APFLETON
 No. 42564

PROJECT NO:
 17200493

SHEET NO:
C-300



0' 10' 20' 40'
SCALE: 1" = 20'



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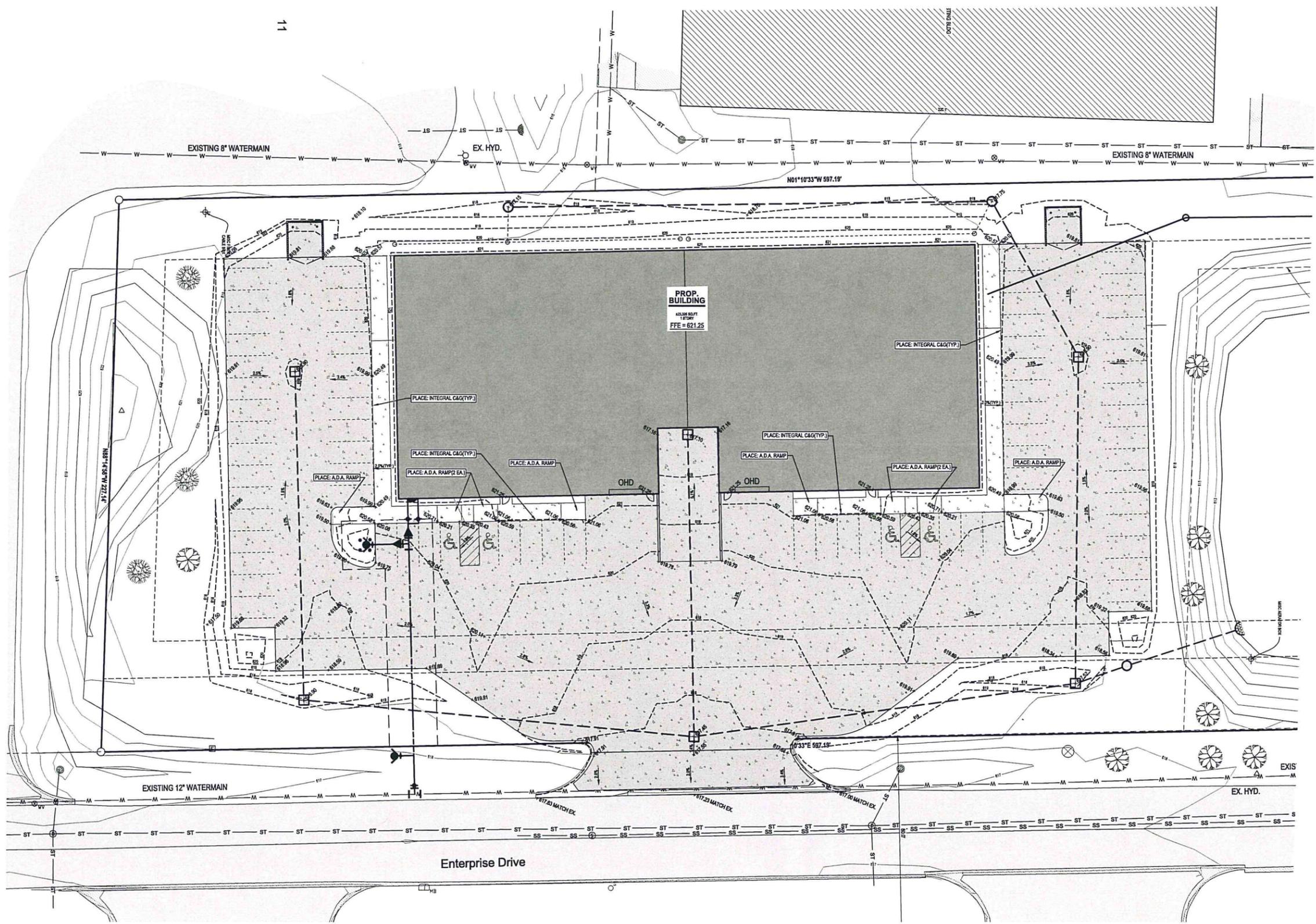
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- PROPOSED CONCRETE (HEAVY DUTY)
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- PROP. SANITARY SEWER
- PROP. WATERMAIN



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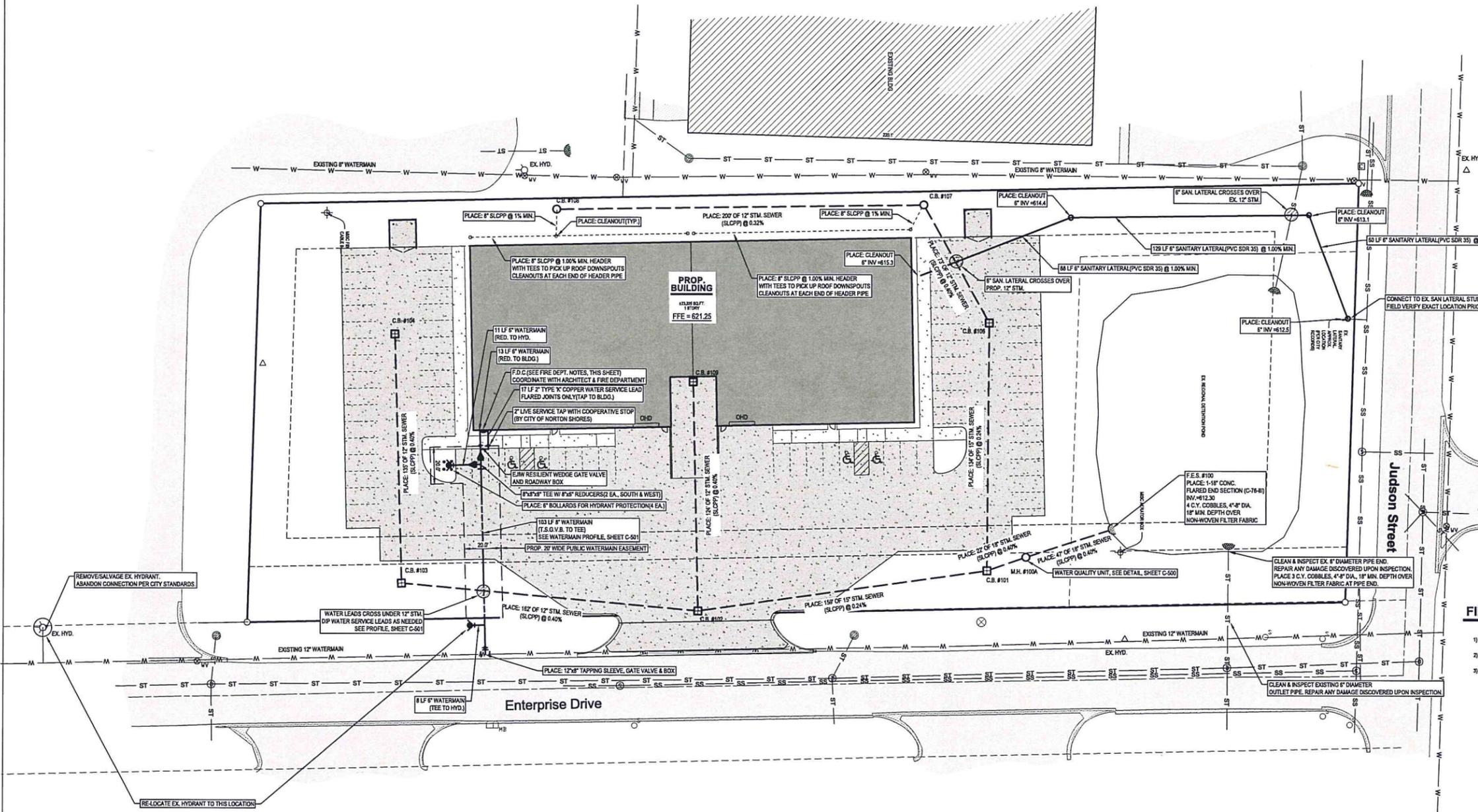
C-301



SCALE: 1" = 30'

LEGEND

- EX. BITUMINOUS
- EX. CONCRETE
- PROPOSED CONCRETE
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATERMAIN
-



FIRE DEPARTMENT NOTES

- 1) A LOCK BOX SHALL BE PURCHASED FROM THE FIRE PREVENTION BUREAU AT CITY HALL. THE LOCATION OF THE LOCK BOX SHALL BE DETERMINED BY THE FIRE OFFICIAL PRIOR TO ROUGH-IN FINAL.
- 2) F.D.C. SHALL BE A 5-INCH STROBE WITH 30 DEGREE DOWNWARD ANGLE. HORN STROBE SHALL BE INSTALLED AT THE MOST VERTICAL LOCATION ABOVE THE F.D.C.
- 3) RACK STORAGE SHALL NOT EXCEED 12 FEET IN HEIGHT WITHIN THE BUILDING.

UTILITY CONSTRUCTION NOTES

- STORM SEWER**
- 1) ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' RAMP.
 - 2) IF UNDERDRAIN SHALL BE PERFORMED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-316 REQUIREMENTS.
 - 3) ALL FLARED END SECTIONS SHALL BE CONCRETE.
 - 4) STORM SEWER MATERIAL AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF NORTON SHORES AND MUSKEGON COUNTY ENGINEERING STANDARDS.
 - 5) ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYPROPYLENE PIPE (SLOPPY) OR ASTM C-784V CONCRETE PIPE.
 - 6) ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTIONS. CONFORMING TO ASTM C-823 ARE REQUIRED FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- SANITARY SEWER AND WATERMAIN**
- 7) ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTON SHORES ENGINEERING STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - 8) ALL WATER MAIN TO BE CLASS S4 DUCTILE IRON. NO THURST BLOCKS. ALL JOINTS TO BE M.J. WITH RETAINER GLANDS.
 - 9) ALL CONNECTIONS TO EXISTING UTILITIES, COLORATION OF NEW WATER MAIN AND TESTING OF NEW UTILITIES SHALL BE WITNESSED BY THE CITY. THE CITY WILL PERFORM THE SAMPLING OF THE NEW WATER MAIN AND SUBMIT THE SAMPLES TO THE CITY OF MUSKEGON FOR TESTING. ALL CITY OWNED VALVES AND HYDRANTS ARE TO BE OPERATED BY THE CITY ONLY. CHARGES WILL APPLY. IF NOT, ALL INSPECTIONS SHALL BE SCHEDULED WITH THE CITY 24 HOURS IN ADVANCE. ANY AND ALL OVERTIME WILL BE CHARGED TO THE CONTRACTOR.

STORM SEWER DRAINAGE STRUCTURES

PROP.	RIM	INVERTS	DIA.	TYPE, CASTING
100		18" S. INV.-#12.30		F.E.S.
100A	618.67	18" S. INV.-#12.49 18" N. INV.-#12.49	4'	EJRW1040-B
101	617.52	15" S. INV.-#13.18 15" W. INV.-#12.90 18" N. INV.-#12.58	4'	EJRW5105
102	617.45	15" N. INV.-#12.78 12" S. INV.-#13.38 12" W. INV.-#13.18	4'	EJRW5105
103	618.90	12" W. INV.-#14.01 12" N. INV.-#14.01	4'	EJRW5105
104	618.90	12" E. INV.-#14.55	4'	EJRW5105
106	618.90	15" E. INV.-#12.58 12" SW. INV.-#13.38	4'	EJRW5105
107	617.75	12" NE. INV.-#13.10 8" SE. INV.-#13.50 12" S. INV.-#14.03	4'	EJRW1040-N
108	617.15	12" N. INV.-#13.39 8" E. INV.-#14.50	2'	EJRW1040-N
109	617.10	12" E. INV.-#13.65	4'	EJRW5105

811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE ASSUMED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAIN" WERE OBTAINED FROM AVAILABLE "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

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Phone: 616.723.3600
Attn: Rick Grasman

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Title: Re-Submitted for Review	Drawn: TA	Checked: TA	Date: 05.02.19
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7049 Enterprise Drive
Utility Plan

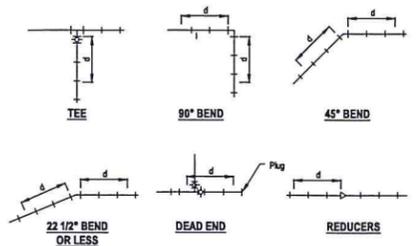
LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T9N, R18W,
CITY OF NORTON SHORES, MUSKEGON COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
TIMM E. APPLETON
ENGINEER
No. 42564
LICENSED PROFESSIONAL ENGINEER

PROJECT NO:
17200493

SHEET NO:
C-400



Length of Restrained Joint Pipe

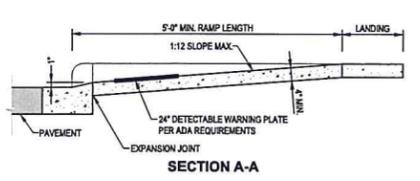
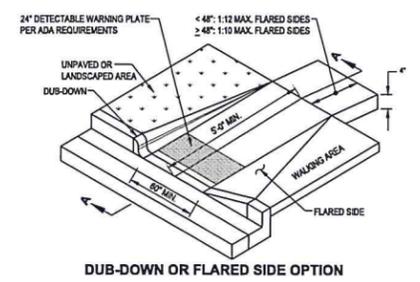
PIPE RESTRAINT LENGTH REQUIRED, FEET (d)

Pipe Diameter	Tees	90° Bends	45° Bends	22 1/2° Bends	11 1/4° Bends	Dead Ends	Reducers (see note)
4"	33"	33"	13"	7"	3"	82"	--
6"	46"	46"	19"	9"	4"	117"	61"
8"	59"	59"	24"	11"	6"	149"	61"
12"	87"	87"	34"	17"	9"	217"	114"

* - If straight run of pipe on small side of reducer exceeds this value, then no restrained joints are necessary

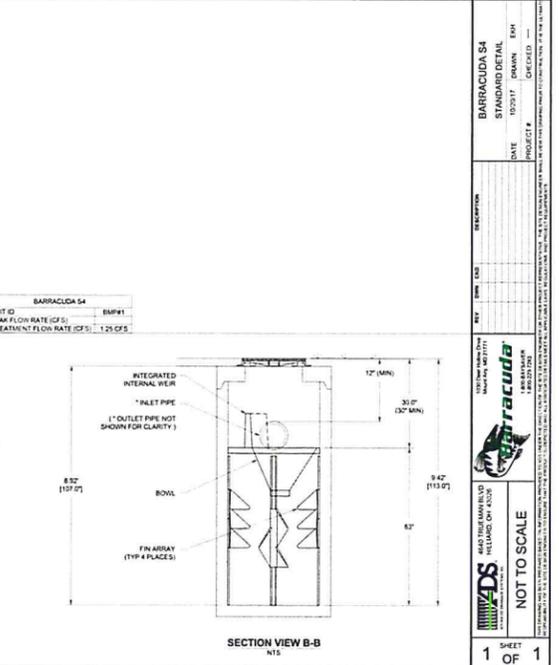
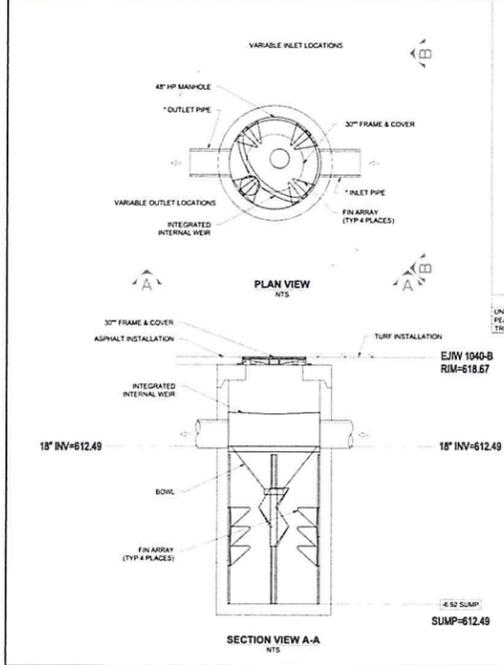
WATERMAIN JOINT RESTRAINT SCHEDULE POLYPROPYLENE WRAPPED

N.T.S.



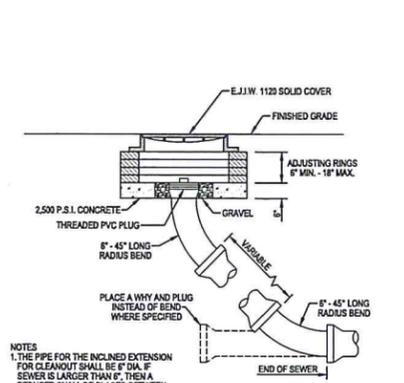
DETECTABLE WARNING SIDEWALK RAMP

N.T.S.



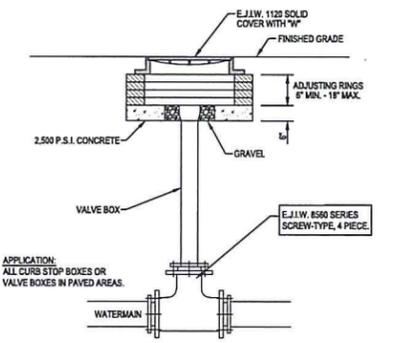
WATER QUALITY UNIT - ADS BARRACUDA S-4(OR APPROVED EQUAL)

N.T.S.



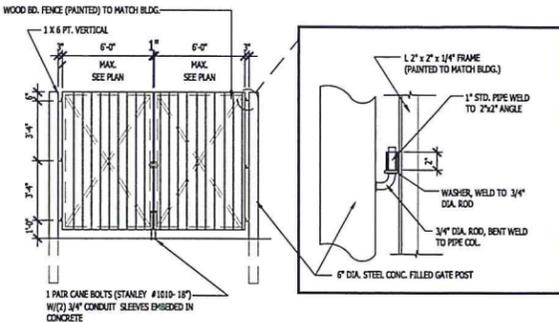
SEWER CLEANOUT DETAIL

N.T.S.



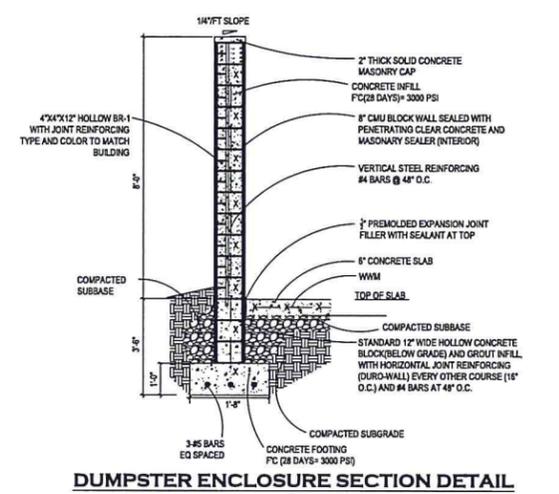
WATER VALVE BOX COVER DETAIL

N.T.S.



DUMPSTER GATE POST N.T.S.

GATE HINGE N.T.S.

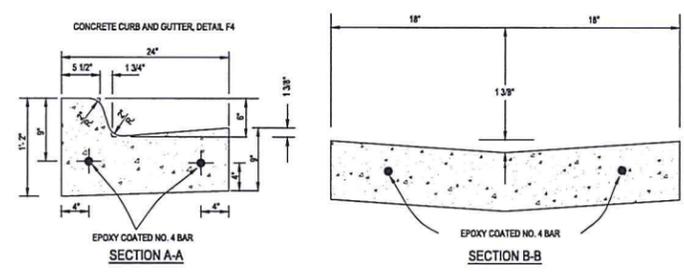
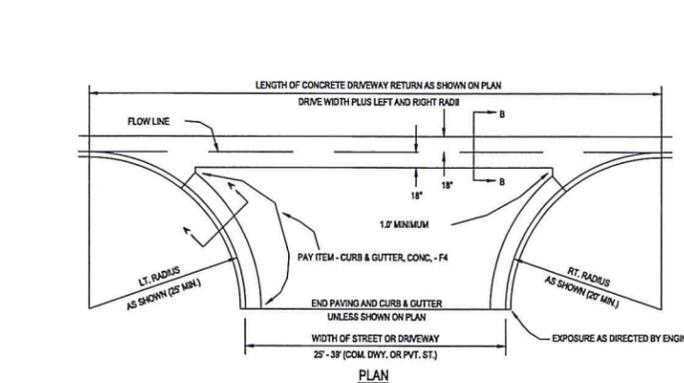


DUMPSTER ENCLOSURE SECTION DETAIL

N.T.S.

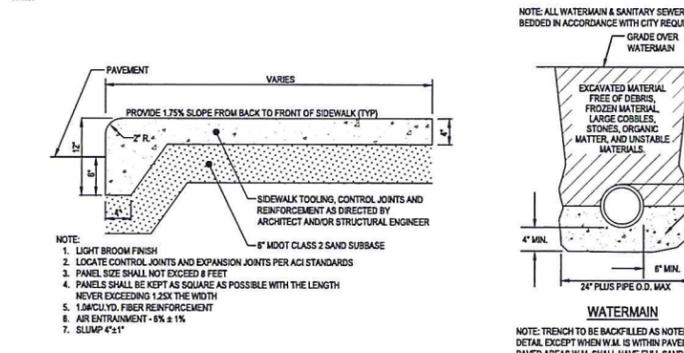
DUMPSTER ENCLOSURE DETAILS

N.T.S.



DRIVEWAY ENTRANCE DETAIL

N.T.S.



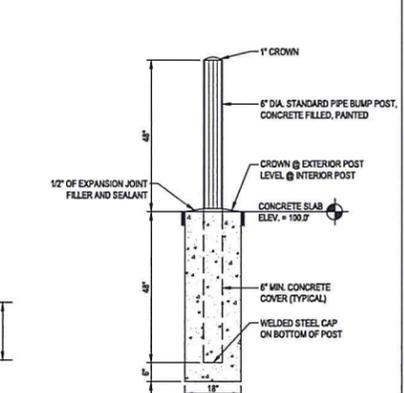
INTEGRAL CURB AND WALK

N.T.S.

811 Know what's Below. CALL before you dig.

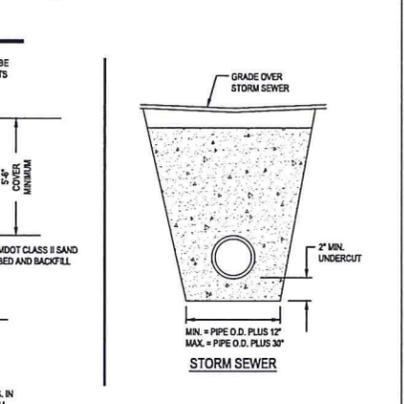
UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD BE CONSIDERED TO BE EXACT LOCATIONS UNLESS INDICATED OTHERWISE. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UNKNOWN" ARE OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



BOLLARD DETAIL

N.T.S.



TYPICAL UTILITY TRENCH AND BACKFILL DETAILS

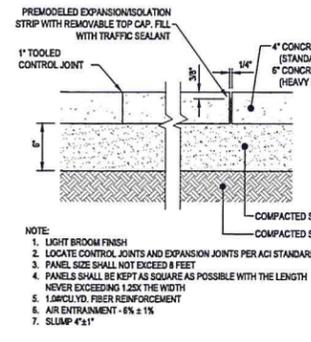
N.T.S.

CONSTRUCTION NOTES

- STORM SEWER**
- 1) ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SLUMP.
 - 2) UNDERPANS SHALL BE PERFORATED PIPE WITH SOOK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTECHNICAL SHALL MEET AASHTO M-218 REQUIREMENTS.
 - 3) ALL FLARED END SECTIONS SHALL BE CONCRETE.
 - 4) STORM SEWER MATERIAL AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF NORTON SHORES AND MUSKOGEE COUNTY ENGINEERING STANDARDS.
 - 5) ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYPROPYLENE PIPE (GLCP) OR ASTM C-764 CONCRETE PIPE.
 - 6) ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-476 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTIONS. CONFORMING TO ASTM C-623 ARE REQUIRED FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- SANITARY SEWER AND WATERMAIN**
- 7) ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTON SHORES ENGINEERING STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - 8) ALL WATER MAIN TO BE CLASS 52 DUCTILE IRON, NO THREST BLOCKS, ALL JOINTS TO BE M.J. WITH RETAINER CLAMPS.
 - 9) ALL CONNECTIONS TO EXISTING UTILITIES, CHANGEOVER OF NEW WATER MAIN AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
 - 10) ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
 - 11) ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
 - 12) ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOIL WHERE NEEDED AND SHALL BE RESEEDING AND MAINTAINED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
 - 13) ALL PATCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
 - 14) THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- GENERAL**
- 1) ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CITY AND MATERIAL SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE CITY, WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY SHALL BE THE GOVERNING AUTHORITY.
 - 2) SOIL BORINGS HAVE BEEN PERFORMED BY THE OWNER AND SHALL BE PROVIDED TO THE CONTRACTOR. VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNDESIRABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
 - 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
 - 4) ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
 - 5) ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
 - 6) ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOIL WHERE NEEDED AND SHALL BE RESEEDING AND MAINTAINED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
 - 7) ALL PATCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
 - 8) THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- STORM SEWER**
- 9) THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
 - 10) THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
 - 11) THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND REMOVALLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING ROAD CLOSURE SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC. THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY TRIPLES AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
 - 12) ALL WORK COMPLETED SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE CITY, OWNER AND THEIR REPRESENTATIVES. THE CITY AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITIES FOR NON-COMFORMANCE OF LAND SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
 - 13) PROTECT ALL PERMITS FOR ALL PIPES IS COMPLETED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE D.P.W. AND THE CITY.
 - 14) PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING THE TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS. THE CITY AND OWNER SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
 - 15) ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.
 - 16) NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
 - 17) ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY AND THE OWNER.
 - 18) DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MORTARED DUST-FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, AGENCIES OR ANY OTHER GOVERNING AUTHORITY.
 - 19) ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS SHALL BE CLEANED BEFORE ACCEPTANCE BY THE CITY AND OWNER.
 - 20) ALL SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY AND OWNER.
 - 21) ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT POWERS OR OTHER SUCH LOAD TRANSFERS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, AGENCIES OR ANY OTHER GOVERNING AUTHORITY.
 - 22) ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED. COMPLETED PRECAST BARS (DOT CLASS 3 BARS) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT, PAVEMENT INLET, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BASEWAYS, DRIVEWAYS, SHOULDER, BUILDINGS, ETC.
 - 23) NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
 - 24) STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEANING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
 - 25) ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - 26) CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
 - 27) ALL TREES WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
 - 28) CONTRACTOR TO FIELD VERIFY AND SCOPE EXISTING SANITARY SEWER LATERAL TO CONFIRM ELEVATION, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL SERVICE.
 - 29) ALL WORK WITHIN ENTERPRISE DRIVE AND/OR ADJACENT ROW SHALL REQUIRE A PERMIT FROM THE STREET DIVISION, CITY OF NORTON SHORES, PRIOR TO CONSTRUCTION.

CONCRETE PAVEMENT DETAIL

N.T.S.



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 Phone: 616.575.5100

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 ST. LOUIS

PREPARED FOR:
 THIRTY-ONE & M-45, LLC
 212 S. Harbor Dr.,
 Suite 300
 Grand Haven, MI 49417
 Phone: 616.723.3600
 Attn: Rick Grasman

REVISIONS:

Title: Submitted for Review	Drawn: TA	Checked: TA	Date: 04.15.19
Title: Re-Submitted for Review	Drawn: TA	Checked: TA	Date: 05.02.19
Title: Reviewed per MDCG comments	Drawn: TA	Checked: TA	Date: 05.07.19

7049 Enterprise Drive

Details & Specifications

LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T9N, R16W, CITY OF NORTON SHORES, MUSKOGEE COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
 LICENSED PROFESSIONAL ENGINEER

TIMM E. APFLETON
 ENGINEER
 No. 42564

PROJECT NO:
 17200493

SHEET NO:
C-500



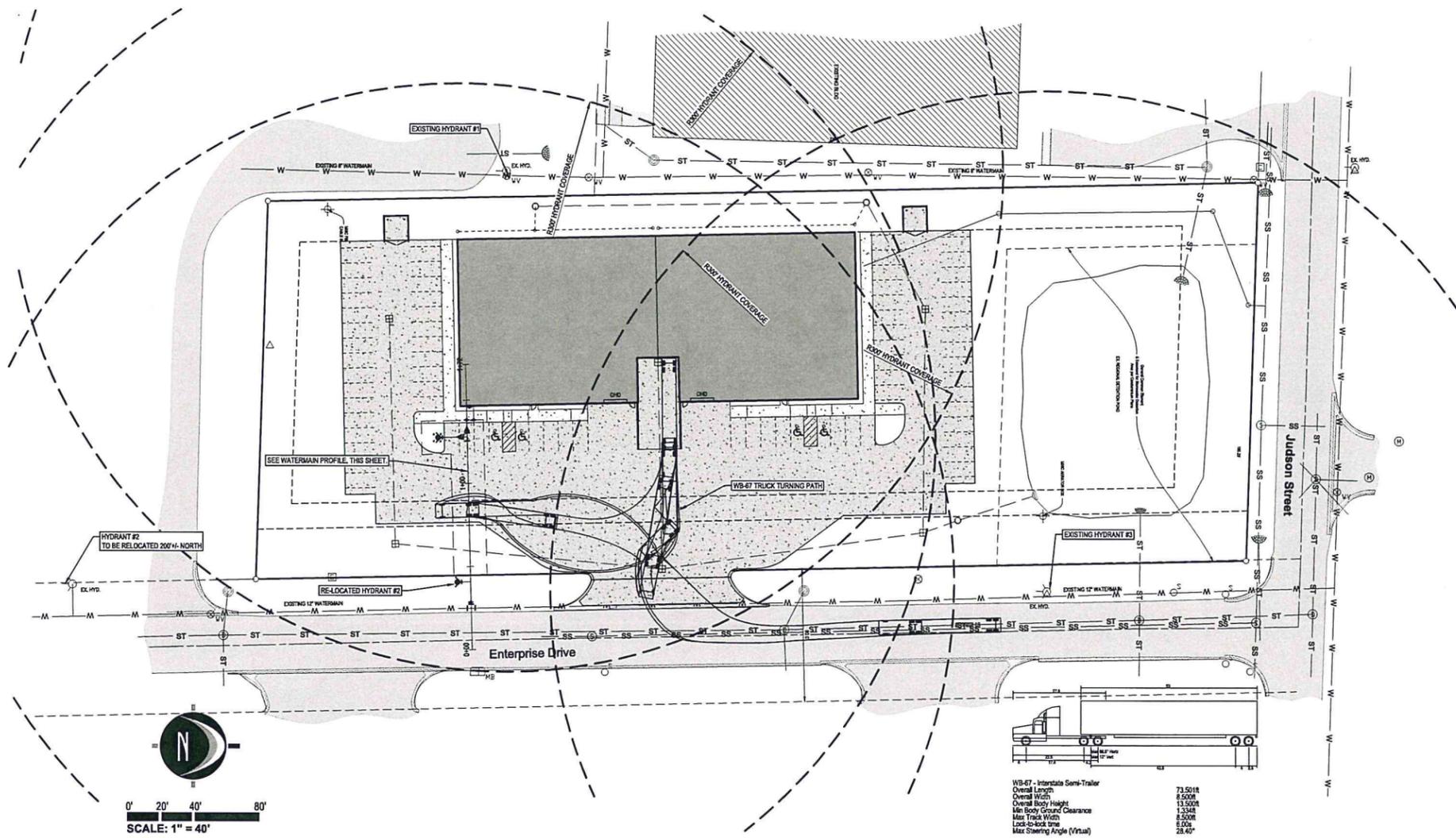
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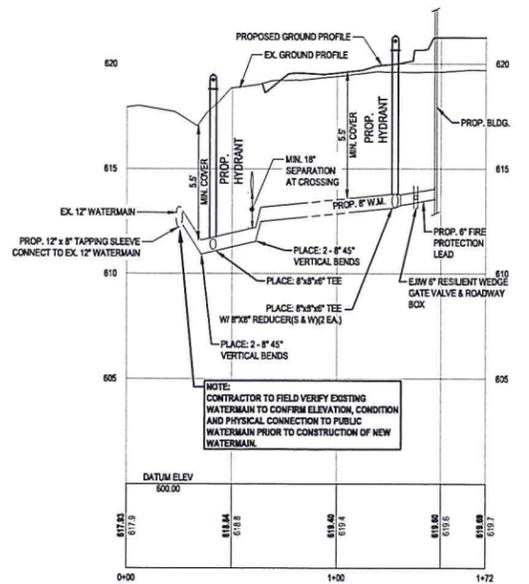
REVISIONS:

Title: Submitted for Review	Drawn: TA	Checked: TA	Date: 04.15.19
Title: Re-Submitted for Review	Drawn: TA	Checked: TA	Date: 05.02.19
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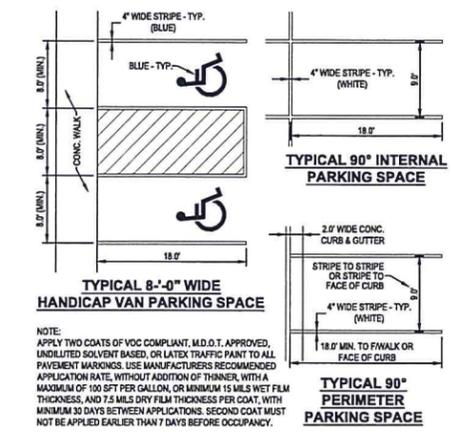


WB-67 - Interstate Semi-Trailer	73.50ft
Overall Length	8.500ft
Overall Width	13.500ft
Min Body Ground Clearance	1.34ft
Max Truck Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Visual)	28.40°

TRUCK TURNING PATH AND EXISTING HYDRANT COVERAGE
SCALE: 1" = 40'



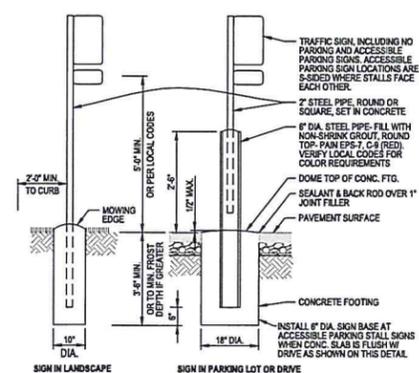
WATERMAIN PROFILE
SCALE: 1" = 40ft, 1" = 4'v



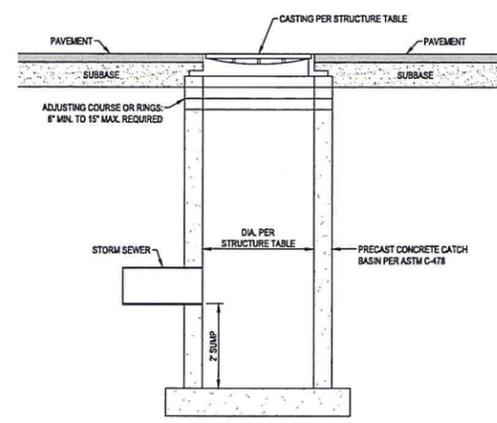
PAVEMENT MARKING DETAILS
N.T.S.



SIGN QUANTITIES
N.T.S.



PARKING LOT SIGNAGE DETAIL
N.T.S.



CATCH BASIN/MANHOLE DETAIL
N.T.S.

7049 Enterprise Drive
Details & Specifications

LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T9N, R10W,
CITY OF NORTON SHORES, MUSKEGON COUNTY, MICHIGAN

STAMP:



PROJECT NO:
17200493

SHEET NO:
C-501



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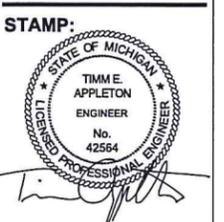
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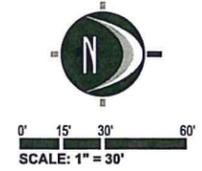
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Title: Submitted for Review	Drawn: TA	Checked: TA	Date: 04.15.19
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Title: Revised per MDCD comments	Drawn: TA	Checked: TA	Date: 05.07.19

7049 Enterprise Drive
Landscape Plan
LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T8N, R18W,
CITY OF NORTON SHORES, MUSKOGEE COUNTY, MICHIGAN

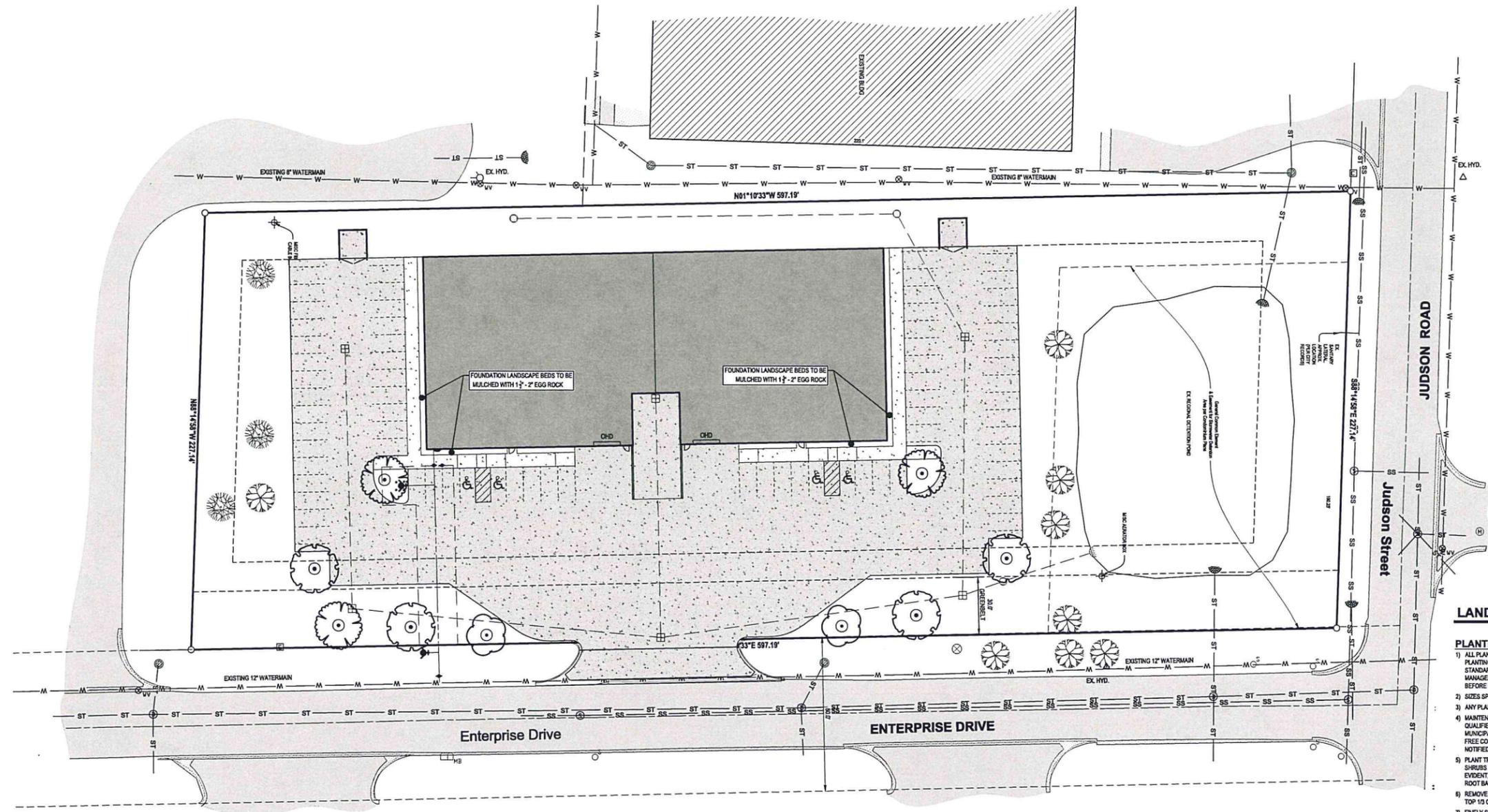


PROJECT NO:
17200493
SHEET NO:
L-201



LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED CONCRETE (HEAVY DUTY)



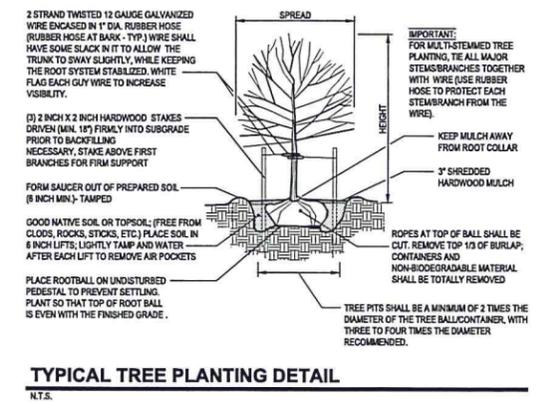
LANDSCAPE NOTES

- PLANTING NOTES:**
- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
 - 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
 - 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
 - 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
 - 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
 - 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
 - 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
 - 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.
 - 10) DECIDUOUS PLANTS SHALL BE PLANTED BETWEEN MARCH 1 AND MAY 15 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. EVERGREEN PLANTS SHALL BE PLANTED BETWEEN MARCH 1 AND JUNE 1 AND FROM AUGUST 15 AND SEPTEMBER 15.

- TOPSOIL AND TURF NOTES:**
- 1) WHENEVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
 - 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
 - 3) ALL LAWN AREAS SHALL RECEIVE SOO OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
 - 4) SOO SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOO SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOO TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SEAMS OF SOO SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOO SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOO UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROLL SOO WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOO.
 - 5) TURF SHALL BE INSTALLED ON A MIN. OF 3"-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE, FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.5 AND 6.5. SALTS 500 PARTS PPM. ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/C.M. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.
 - 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN.
- IRRIGATION NOTES:**
- 1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

PLANT SCHEDULE

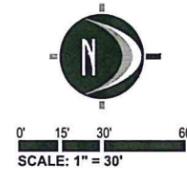
TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Aa	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple B&B	2.5" cal. min.	4
	Tc	Tilia cordata / Littleleaf Linden B&B	2" cal. min.	3
	Zg	Zelkova serrata 'Green Vase' / Sawleaf Zelkova B&B	2.5" cal. min.	2



811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

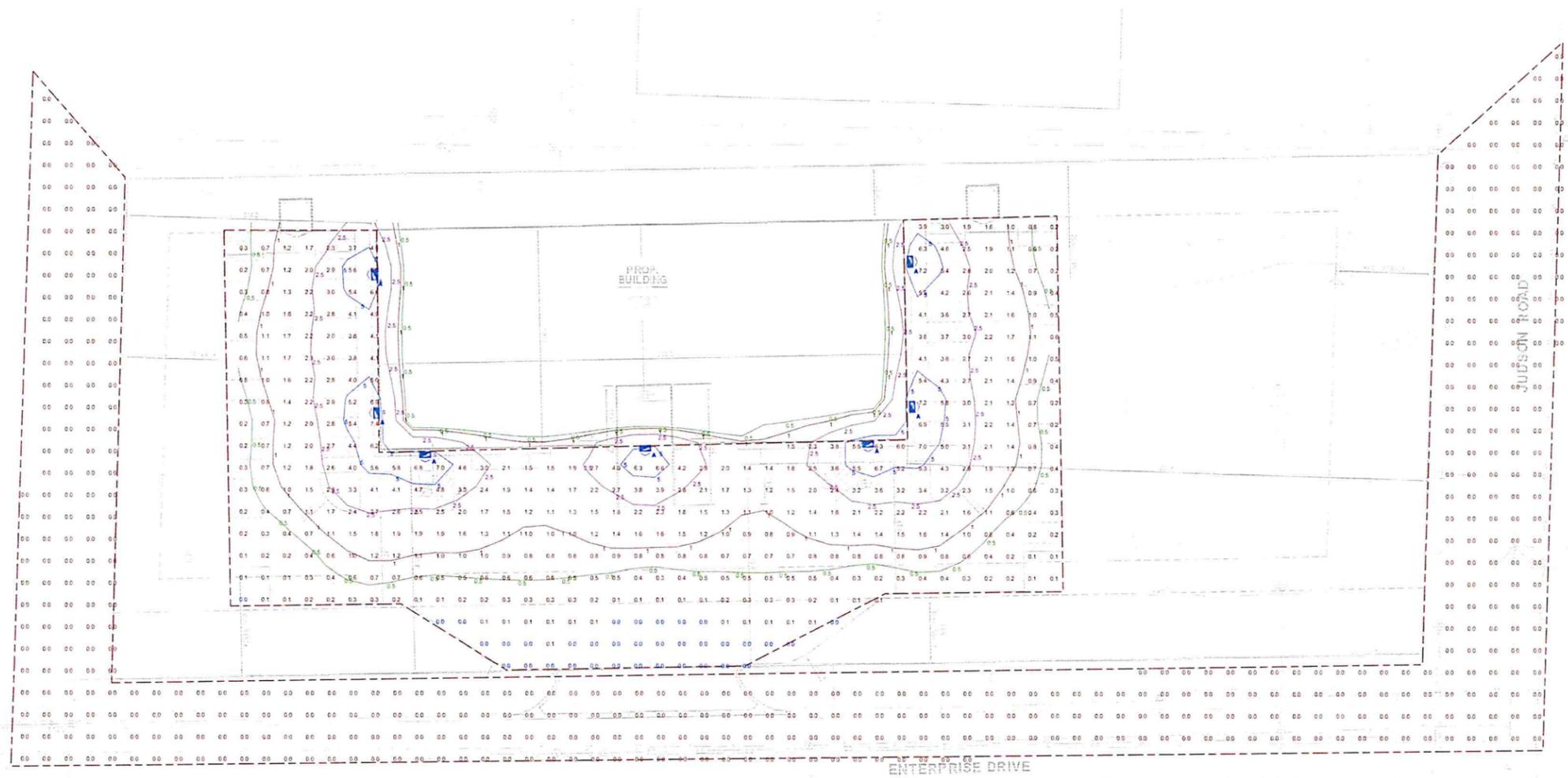
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "UTILITY" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO ANY CONNECTIONS.



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PREPARED FOR:
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 212 S. Harbor Dr.,
 Suite 300
 Grand Haven, MI 49417
 Phone: 616.723.3600
 Attn: Rick Grasman

REVISIONS:
 Title: Submitted for Review
 Drawn: TA Checked: TA Date: 04.15.19
 Title: Re-Submitted for Review
 Drawn: TA Checked: TA Date: 05.02.19
 Title: Revised per MCCDC comments
 Drawn: TA Checked: TA Date: 05.07.19

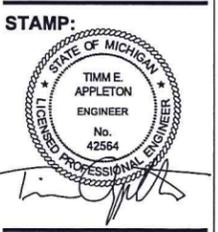


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	7	Lithonia Lighting	RSX1 LED P3 50K R4 MVOLT WBA NLTAIR2 PIRHN DDBXD	RSX Area Fixture Size 1 P3 Lumen Package 5000K CCT Type R4 Distribution		1	RSX1_LED_P3_50K_R4 .ies	14206	1	109.44

7049 Enterprise Drive

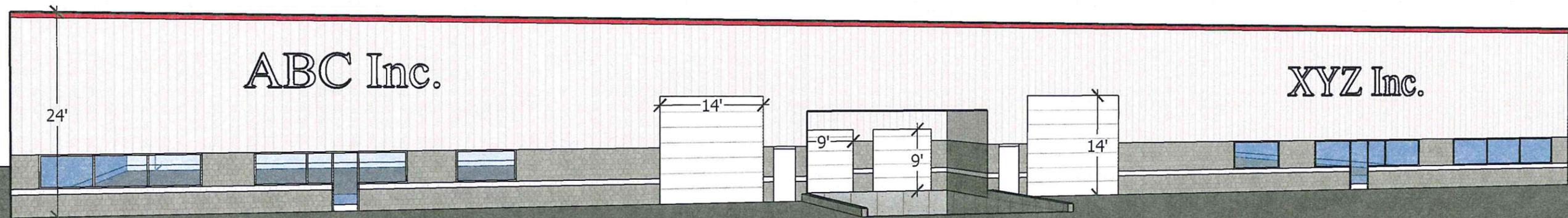
Photometric Plan

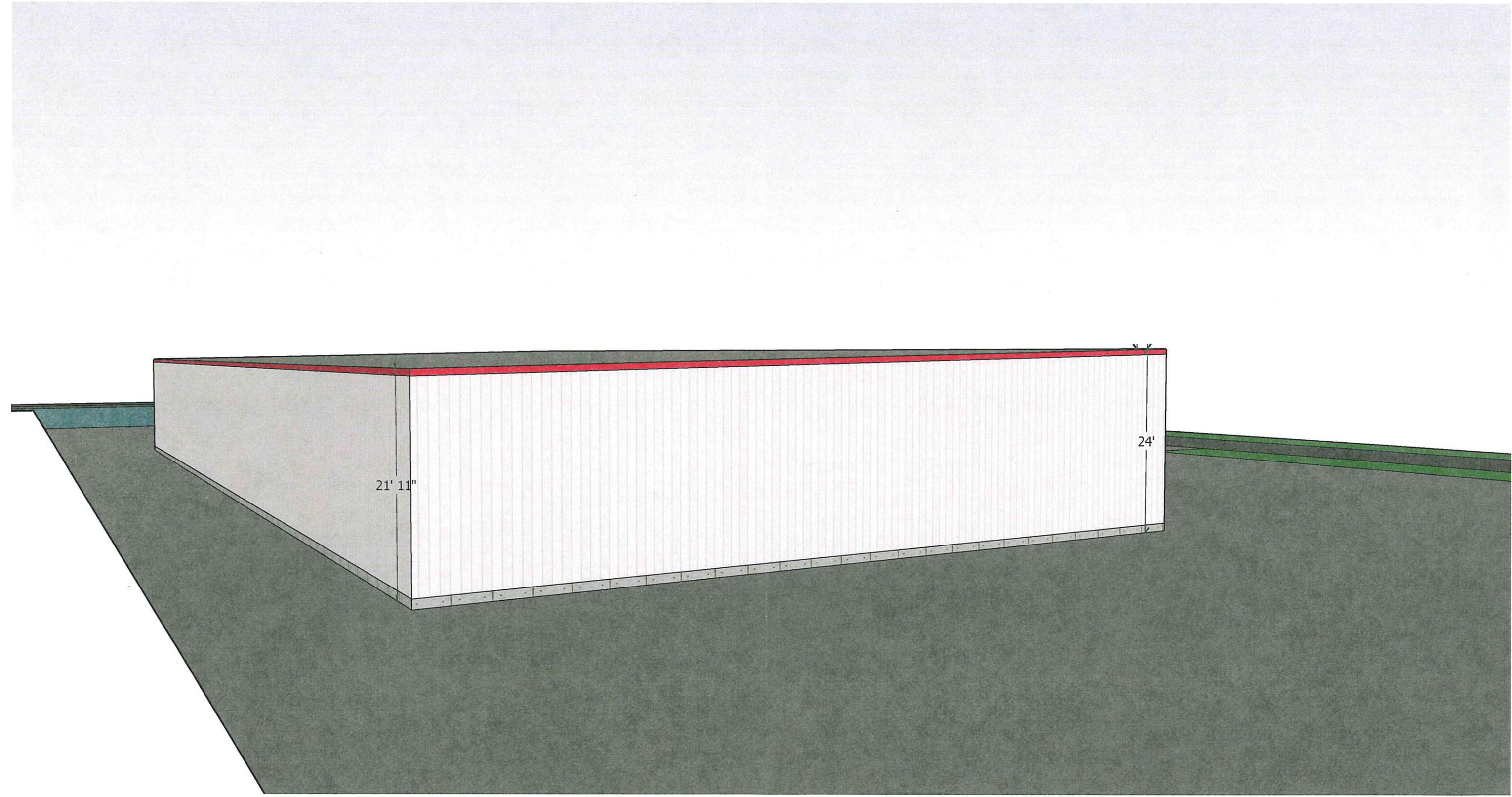
LOT 2, ENTERPRISE ASSOCIATES SITE CONDOMINIUM, SECTION 33, T9N, R16W, CITY OF NORTON SHORES, MUSKOGEE COUNTY, MICHIGAN



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21' 11"

24'